



City of Charleston

Design Review Board

January 17, 2017

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

Agenda Item 1:

20 Fairchild Street

Request preliminary approval for new construction of a retail building as per documentation submitted.

SUMMARY OF WORK

The project is a mixed use project consisting of offices on the first and second floors and two residential units on the third floor.

CONSTRUCTION PROCEDURES

Provide administrative coordination of all work, including trained, qualified employees and subcontractors, and supervisory personnel. Submit schedule of values. Submit payment request procedures. Provide to the Architect and post at the construction site, a phone and address list of individuals to be contacted in case of emergency. Keep all work clean and well protected from dirt, weather, theft, and damage. Keep construction site in a clean and tidy manner. Store construction materials within the property lines. Construction site shall contain a commercial dumpster, a shielded job toilet, and temporary utilities.

CHANGE ORDER PROCEDURES

Changes in the work may be required which will be authorized by a Change Order. Change Order procedures shall be as follows: The Change Order will be described, diagrammed, and outlined by the Architect. The Contractor shall submit a Change Proposal. This will not constitute a Change Order. The Architect, if approved, shall issue a Change Order signed by both the Owner and Architect. No change work will be commenced without a signed Change Order. Change orders will be numbered in sequence and dated.

SUBSTITUTION PROCEDURES

Provide products from one manufacturer for each type or kind as applicable. Provide products selected. Conditions for substitution shall include a substantial advantage to the Owner in terms of cost, time, or other valuable consideration. Substitution shall not be allowed after approval of materials or products due to delivery time unless Contractor can document that orders were made in a timely manner.

CUTTING AND PATCHING

Cut and patch as required to complete the work for visual quality as directed by the Architect. Cut and patch with care to avoid damage to existing work, safety hazards, and violation of warranty requirements. Perform work with workmen skilled in the trades involved. Prepare sample area of each type of work for approval. Protect adjacent work from damage and dirt. For cutting work, use proper cutting tools, and chipping tools. Make neat holes. Remove masonry. Minimize damage to adjacent work. Check for concealed utilities and structure before cutting. Make patches, seams, and joints durable and inconspicuous. Tolerances for patching shall be the same as for new work.

CLOSING PROCEDURES

The following shall be provided or performed for substantial completion: Completed punch list and supporting documentation. Signed warranties. Occupancy permit from governing agencies and utility companies as required. Change and transfer of books and keys. Final payment request with supporting affidavits and release of liens. Complete all repairs, call-backs, corrections, adjustment of equipment, final cleaning, and final touch-up. Remove from the job site all tools and equipment, surplus materials, equipment, scrap and debris. Impact exterior and interior surfaces and remove all waste, paint, droppings, spots, stains or dirt. Clean inside and outside surfaces of all glass. Final cleaning as approved by the Owner to enable Owner to accept a completely clean Work.

BRICK

ASTM C216, Grade SW, Type FB15, Size: Modular, 2-1/4 inches high x 7-5/8 inches long x 3-5/8 inches thick. Submit samples to Owner and Architect for approval.

BRICK TIES

Ties shall be #315-C Screw-On Anchor Rings with #16 Triangular Ties, as manufactured by Hecksman. Space at 16" on each way maximum.

MORTAR MIX

ASTM C270, Type 3.

METAL STAIRS

As shown on drawings, Sheet A-4.2. Fit and shop assemble components in largest practical sections, for delivery to site. Fabricate components with joints tightly fitted and secured. Continuously weld connections. Welding to conform to AWS D1.1. Grind exposed joints flush and smooth with adjacent finish surfaces. Supply components required for anchorage of fabrications. Fabricate sections and related components of same material and finish as stairs. Finish as follows: Surface SSPC Cleaning, SP3 - Power Tool Cleaning. Application: One coat Sherwin Williams All Surface Enamel Primer, Two coats Sherwin Williams Super Paint. Latex High Gloss Enamel, follow coating manufacturer's instructions.

EXTERIOR HANDRAIL SYSTEM

Provide aluminum porch railing as shown on the drawings, see sheet A-4.3, as manufactured by Hansen Aluminum Picket Railing Systems. Finish shall be black powder coating.

UNDERLAYMENT MATERIALS

Provide Advantech Flooring, 7/8" Performance Category, manufactured by Inter Engineered Woods LLC, Charlotte NC. Putnam shall be Type 304 stainless steel or Hot-dip zinc coated, ASTM A153/A153M, as recommended by Inter. Terminate shall be copper.

WOOD TREATMENT

Wood treatment shall be Copper Azole preservative treated in accordance with requirements of FOC Evaluation Report ESR-1723

WOOD AND ACCESSORIES

Provide and install materials as shown on the Construction Documents, applicable trade standards, or approved samples. Provide wood free of significant defects or deviations from grade standards. Provide samples for Owner's selection.

DECKING

Decking shall be Ipe wood by Plaza Hardwood, Inc. 800-662-6306. Size shall be 5/4 x 6. Installation shall be with stainless steel clip system utilizing a grooved edge. Follow manufacturer's printed instructions. Finish with outdoor UV resistant finish as recommended by manufacturer.

FINISH CARPENTRY: EXTERIOR WORK

Protect newly cut wood with primer coat or preservative treatment on six surfaces prior to installation. Protect with preservative all wood in contact with masonry or concrete.

PORCH AND DECK CEILING AND RAFT ROFFITS

Shall be Bond TruStaircase Trim headboard, 5/8" x 5/4".

SIDING

Siding shall be Bond TruStaircase Vical Cap Siding. Install according to manufacturer's printed instructions.

TRIM WORK

Trim materials shall be Bond TruStaircase Trim. Install sizes as shown on the drawings. Provide 1/2" actual thickness by sizes shown as facing and trim areas. Blocking shall be Bond TruStaircase materials at thicknesses shown.

INSULATION

Provide both glass fiber batt and glass fiber loose fill insulation as manufactured by Owens Corning. Batts shall be kraft faced ASTM C665 Type II, Class C. Loose fill shall be ASTM C794, Type I or Type II. Install R-values as noted on the drawings. Install according to manufacturer's printed instructions.

AIR BARRIER ASSEMBLY

Provide combination of air barrier materials and air barrier accessories to act as a continuous barrier to the movement of air through the environmental separator. Products shall be as manufactured by Weatherstripping of the Fortifiber Corporation. Install according to the manufacturer's printed instructions.

ROOFING

Roofing shall be standing seam metal. Metal shall be steel sheet, 55% aluminum-zinc alloy-coated by the hot-dip process. Finish shall be high performance enamel coating, color to be selected by the Owner from manufacturer's full color range. Underlayment shall be ASTM D226, No. 30, non-perforated. Install ridge battens ridge vents at all ridges. Provide manufacturer's 20 year warranty providing coverage against rupture, perforation, or structural failure of aluminum-zinc alloy coated panels. Roofing shall be similar to Snap Clad Panel by Putnam Ridge Vents shall be PACES Ridge Vents by Snap-Clad. Installation shall be according to manufacturer's printed instructions.

FLASHING

Exposed flashing shall be copper: 16 oz./sq. ft. cold-rolled copper; ASTM B370. Flashing at roof-gutter shall be same material as roofing. Install according to manufacturer's printed instructions.

DOORS & WINDOWS

Doors and windows shall be as manufactured by Stern Pacific and Jeld-Wen doors Fiberglass Clad based on the Premier Fiberglass Architectural Collection. Designated, be custom designed as shown on the elevations. Manufacturer shall furnish shop drawings. Color of doors and windows shall be as selected by the Architect. Installation of doors and windows shall be according to manufacturer's printed instructions. Flashings shall be as designated by the air barrier assembly manufacturer.

HARDWARE

Provide allowance for full installation of hardware. Provide samples and cuts for Owner's selection.

GYPSUM WALLBOARD

Gypsum board shall be manufactured by United States Gypsum. Gypsum board shall not be manufactured in China. Gypsum board on exterior walls shall be 5/8" type AR. Gypsum board for interior walls and ceilings shall be 1/2".

PAINTING

Provide color chips and finish type samples for Owner's selection. Finishes shall be Sherwin Williams recommended three coat systems for the appropriate surfaces. Provide mildew resistant additive. Submit finish systems to Architect for approval.

TOILET ACCESSORIES

As manufactured by Bradley Corporation: Trash and waste, Model 325-30. Grab bars, as shown on drawings, Series 812-2. Soap dispenser, Model 63267. Mirror, Model 781. Toilet tissue dispenser, Model 5402. Napkin disposal, in each women's, Model 4722-15. Hook and bumper, Model 915.

FIRE CONTROL

Provide fire control as required, during construction, to provide a fireproof barrier.

PLUMBING

See plumbing specifications.

MECHANICAL HEATING AND AIR

See mechanical specifications. Provide vibration isolation curbs at rooftop mechanical units manufactured by Thyler Corporation. Install according to manufacturer's printed instructions.

ELECTRICAL

See electrical specifications.

COMMUNICATIONS

Contractor shall notify Owner in the time for installation of rough in for any communications or security system, as may be required by Owner and its staff. Allow access to the Owner's or tenant's contractors.

END OF SPECIFICATIONS

225 SFD UNITED, LLC
Fairchild Retail
20 Fairchild Street
"Daniel Island"
City of Charleston, South Carolina

ARCHITECTURE +
CONSTRUCTION
1000 W. 10th Street
Suite 100
Charleston, SC 29401
(843) 723-1111
www.sfdunited.com

GENERAL
SPECIFICATIONS

01/04/17

GS-1.0

Project ID: 01/04/17/001



CROSSWALK SECTION



LANDSCAPE CONCEPT PLAN

DANIEL ISLAND - FAIRCHILD RETAIL

225 SFD UNITED, LLC

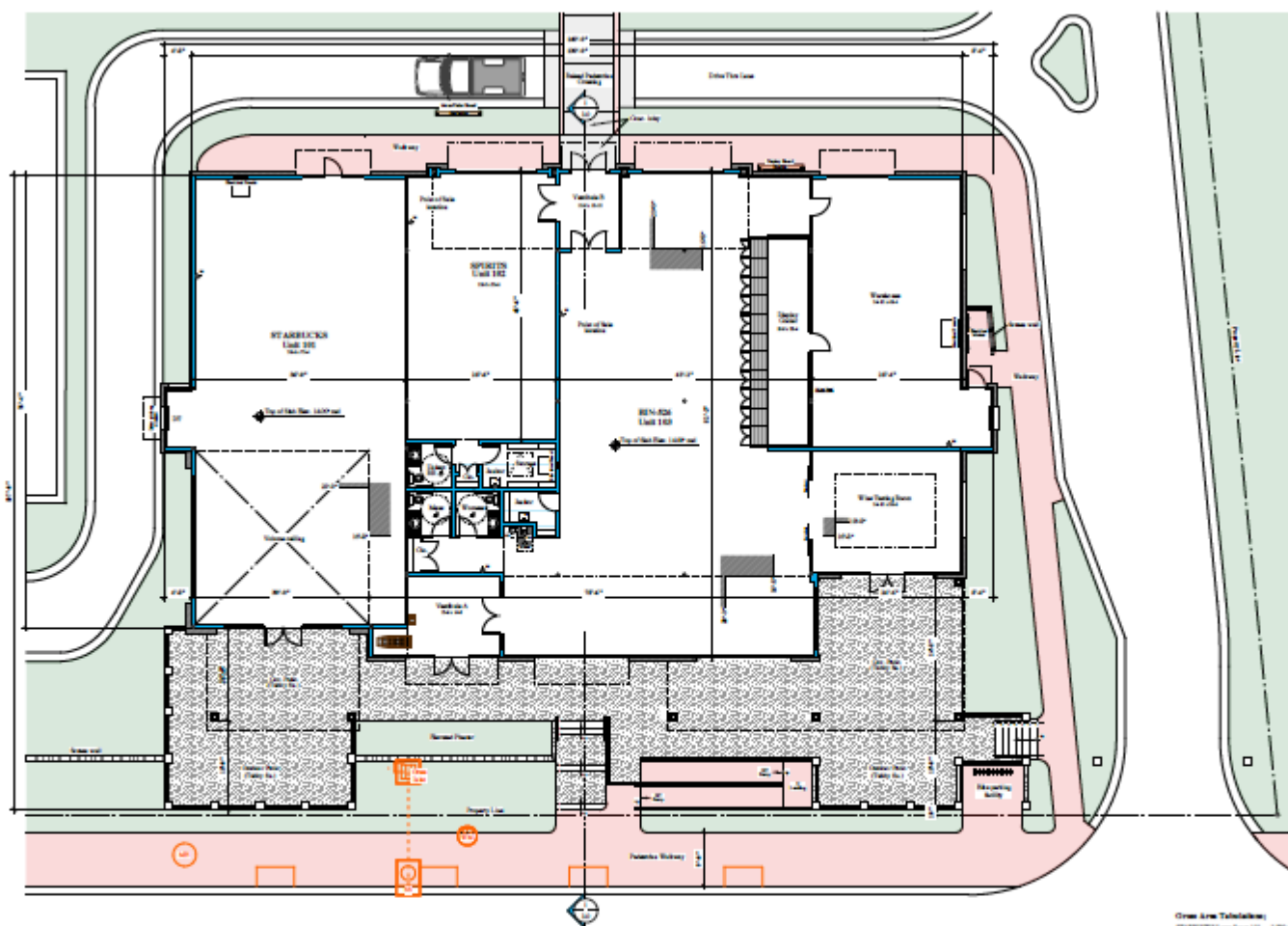
THOMAS & HUTTON

Thomas & Hutton is a registered professional landscape architect and is not responsible for the design of the building or the structural elements of the landscape. The landscape design is based on the information provided by the client and is subject to change without notice. The landscape design is not a guarantee of performance and is not a warranty of any kind. The landscape design is not a contract and is not a part of any contract. The landscape design is not a representation of any kind. The landscape design is not a statement of opinion or a statement of fact. The landscape design is not a statement of value or a statement of cost. The landscape design is not a statement of time or a statement of schedule. The landscape design is not a statement of any kind. The landscape design is not a statement of any kind.

JANUARY 3, 2016



SCALE: 1"=30'



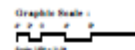
FIRST FLOOR PLAN

Retail Layout

Scale: 1/8" = 1'-0"

| Room Name | Area (sq ft) |
|----------------------|--------------|
| STARBUCKS (Unit 102) | 1,000 |
| STARBUCKS (Unit 103) | 1,000 |
| STARBUCKS (Unit 104) | 1,000 |
| STARBUCKS (Unit 105) | 1,000 |
| STARBUCKS (Unit 106) | 1,000 |

| Room Name | Area (sq ft) |
|----------------------|--------------|
| STARBUCKS (Unit 102) | 1,000 |
| STARBUCKS (Unit 103) | 1,000 |
| STARBUCKS (Unit 104) | 1,000 |
| STARBUCKS (Unit 105) | 1,000 |
| STARBUCKS (Unit 106) | 1,000 |



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City of Charleston, South Carolina

FLOOR PLAN

01/04/17

A-1.0

Project 17-01, 10/10/16

10/10/16

10/10/16

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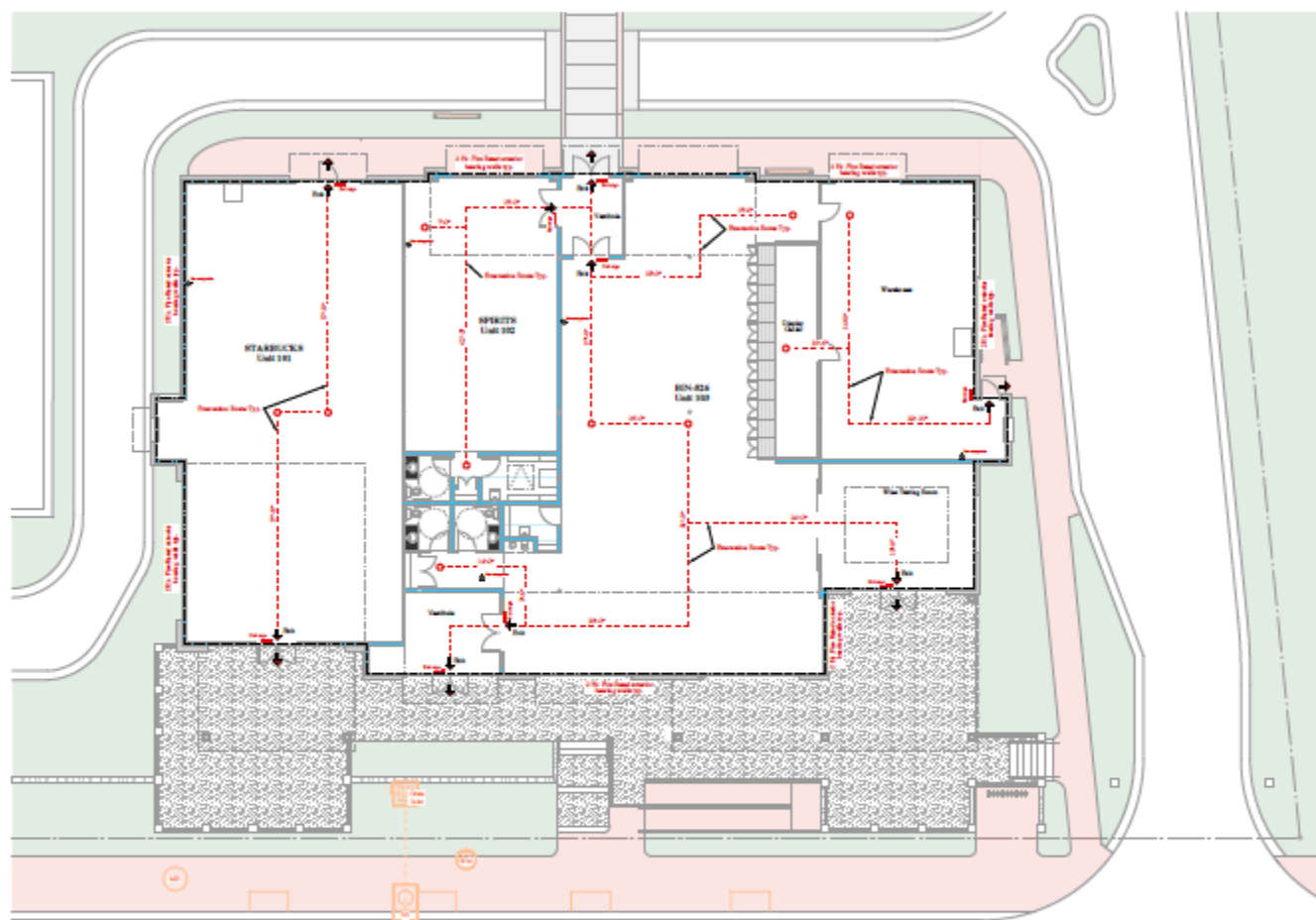
10/10/16

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10/10/16



FAIRCHILD STREET
30' Right of Way (20' ASPB speed limit)
Primary Street



FIRE PROTECTION PLAN

(Life Safety)

Scale: 1/8" = 1'-0"

Graphic Scale:



Project No. 225 SFD UNITED, LLC

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Fairchild Retail
20 Fairchild Street
"Daniel Island"
City of Charleston, South Carolina

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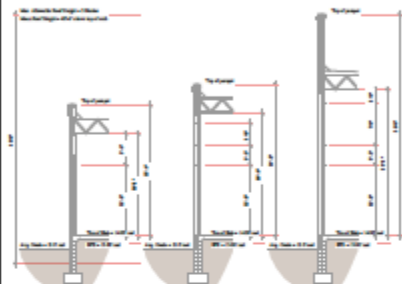
Legend:
Fire Extinguisher (100)
Fire Alarm Pull Station (100)
Fire Hydrant (100)
Fire Hydrant Connection (100)
Fire Hydrant Valve (100)
Fire Hydrant Test (100)
Fire Hydrant Repair (100)
Fire Hydrant Replacement (100)

Project Title:
FIRE PROTECTION PLAN

Date: 01/04/17

Sheet No.:
A-1.2

Project No.: 225 SFD UNITED, LLC



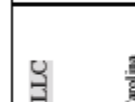
EAST ELEVATION
(From Fairchild Street)

04/18/17



SOUTH ELEVATION
(From Fairchild Street)

04/18/17



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City of Charleston, South Carolina



South Elevation
04/18/17
04/18/17

SOUTH & EAST ELEVATIONS
04/18/17

A-2.0



Primary Defense Theory



(Pharmacokinetics)

Graphite Scale:

[Google 100% Free PDF](#)

Program 10: All Political Parties



EAST ELEVATION

(From Gas Station)

Scale: 1/8" = 1'-0"

OLD



EAST ELEVATION

(From Gas Station)

Scale: 1/8" = 1'-0"

NEW



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City of Charleston, South Carolina

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Project Name:
EAST ELEVATIONS
OLD & NEW

Date: 01/04/17

Sheet: A-2.3

Project: 225 SFD UNITED, LLC

OLD



NORTH ELEVATION

(From 1-434)

Scale: 1/8" = 1'-0"

NEW



NORTH ELEVATION

(From 1-434)

Scale: 1/8" = 1'-0"



Fairchild Street (north)



Fairchild Street (south)



Fairchild Street (I-526)





Brick Screen Walls



Fairchild Street (south) Central Island Square



Siding material incorporated into brick veneer masonry



Fairchild Street (east) REFUEL



Seven Farms Drive (west) Examples of tower elements at driveway entrances



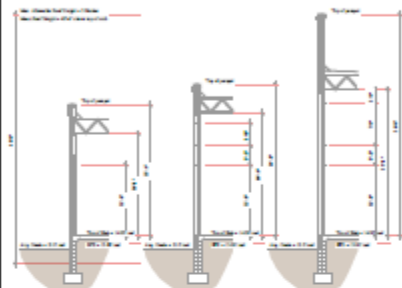
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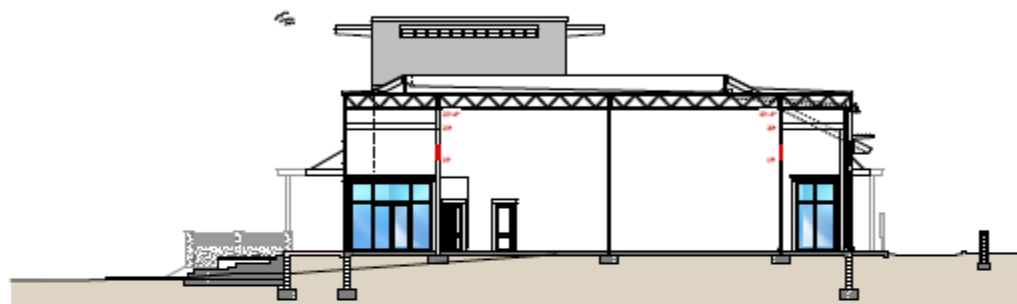
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Fairchild Street Study B
01/04/17

Project No.:
A-2.7

Project No.: 01/04/17

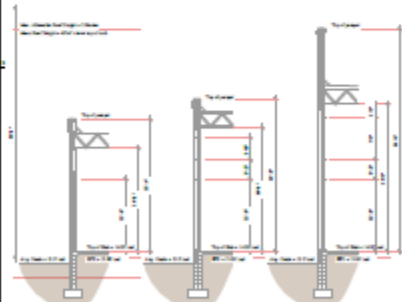


REFERENCE ACTIONS



EAST ELEVATION

FAST FACT
(From Our Staff)



REFERENCE ACTIONS



WEST ELEVATION

Open Drive Thru



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City of Charleston, South Carolina

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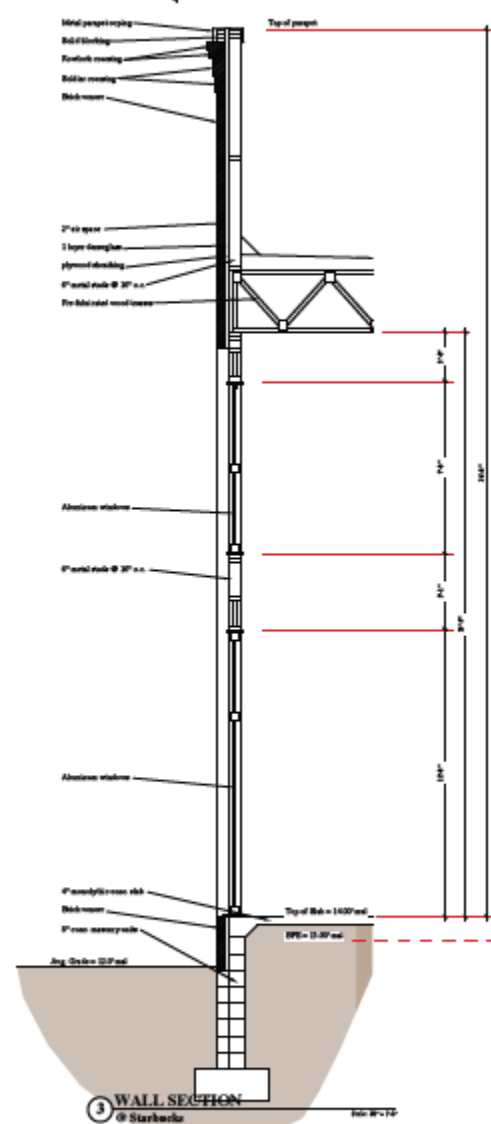
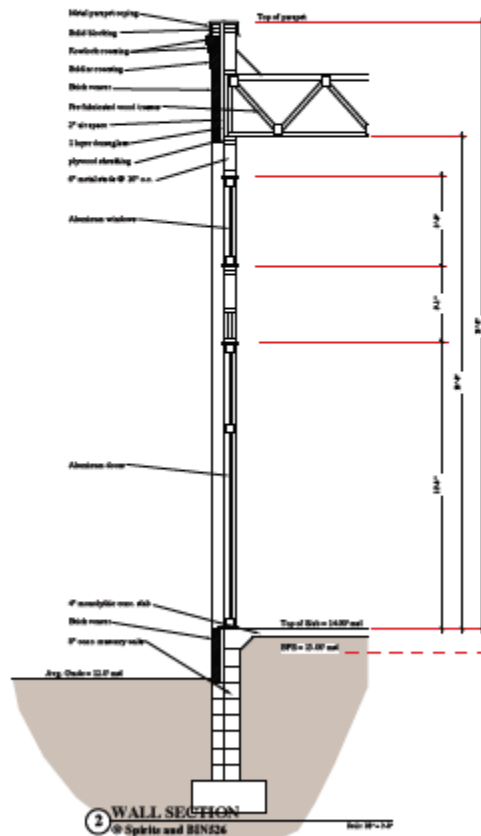
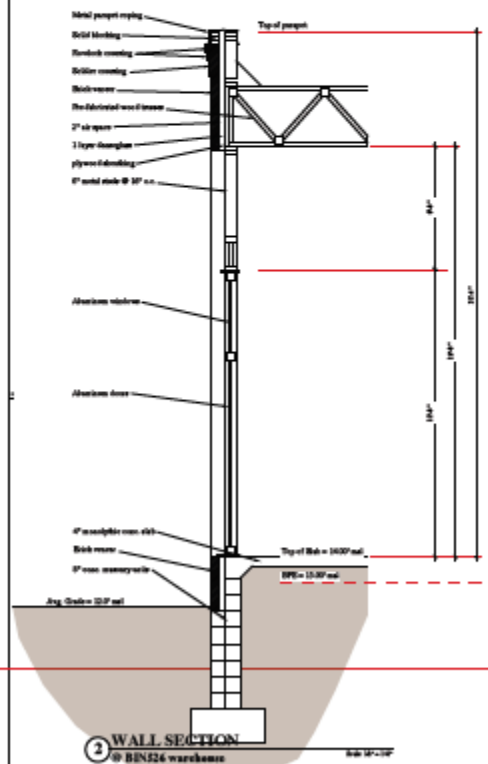
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| <input checked="" type="checkbox"/> | | | | Unsaturated Gas |

BUILDING SECTIONS

01/04/17

A-3.0

Product 40's 30-Second Survey



ARCHITECTURE+
Charlotte • Columbia • Greenville • Spartanburg

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Fairchild Retail
20 Fairchild Street
"Daniel Island"
City of Charleston, South Carolina

WALL SECTIONS
01/04/17
A-4.0

Agenda Item 2:

1439 Folly Road

Request conceptual approval for new construction of 3-story storage building and additions to 3 existing storage buildings as per documentation submitted.

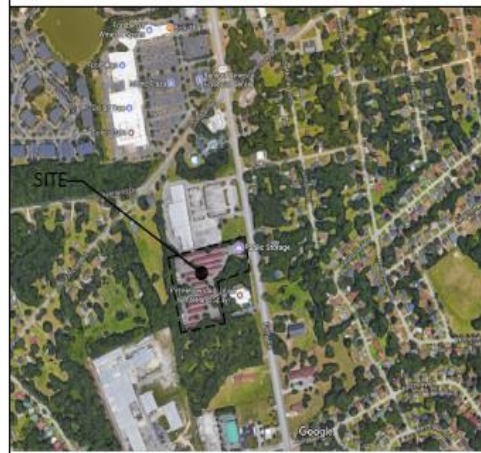
PUBLIC STORAGE

DEVELOPMENT TYPE: EXPANSION / REMODEL

1439 FOLLY ROAD
CHARLESTON, SC 29412



VICINITY MAP



DRAWING INDEX

| | |
|--------|---|
| CV01 | COVERSHEET |
| C1 | SITE PLAN - PRELIMINARY |
| L1 | LANDSCAPE PLAN - PRELIMINARY |
| L2 | CONCEPT PLANT PALETTE |
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| A1.02 | BUILDING 1 - FLOOR PLAN 2ND FLOOR |
| A1.03 | BUILDING 1 - FLOOR PLAN 3RD FLOOR |
| A1.04 | BUILDING 1 - FLOOR PLAN COMPARISON |
| A1.05 | BUILDING 1 - ROOF PLAN |
| A1.06 | BUILDINGS 2 THRU 5 - FLOOR PLANS |
| A2.01 | EXTERIOR NORTH & EAST ELEVATIONS - BLDG 1 |
| A2.01A | EXTERIOR SOUTH & WEST ELEVATIONS - BLDG 1 |
| A2.02 | EXTERIOR ELEVATIONS - BLDG 2 |
| A2.03 | EXTERIOR ELEVATIONS - BLDG 3 |
| A2.04 | EXTERIOR ELEVATIONS - BLDG 4 |
| A2.05 | EXTERIOR ELEVATIONS - BLDG 5 |
| A3.01 | EXISTING CONDITIONS IMAGES |
| A3.02 | STREETVIEW OVERLAY PERSPECTIVE |
| A4.01 | PERSPECTIVE RENDERINGS - 3 STORY BLDG |

LITTLE
ARCHITECTS
2018 Westpark Drive, Suite 100, Charleston, SC 29405
Tel: 843.799.1111
www.littlearchitects.com

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ACTIVE



PUBLIC STORAGE
REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC 29412

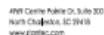
DESIGNED BY
Brian T. Morrison, AIA
PROJECT MANAGER
Richard W. Waller
REVISED BY
RWW

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COVERSHEET

121.6252.00

01.04.17 CV01



The Contractor shall verify and be responsible for dimensions. It shall indicate the drawing - any errors or omissions shall be reported to Stertec without delay.

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Consultant

Legend

Nirvan[illegible]

Chen & Shalovich

Client/Project: _____

EQUUS ROAD

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SITE PLAN - PRELIMINARY

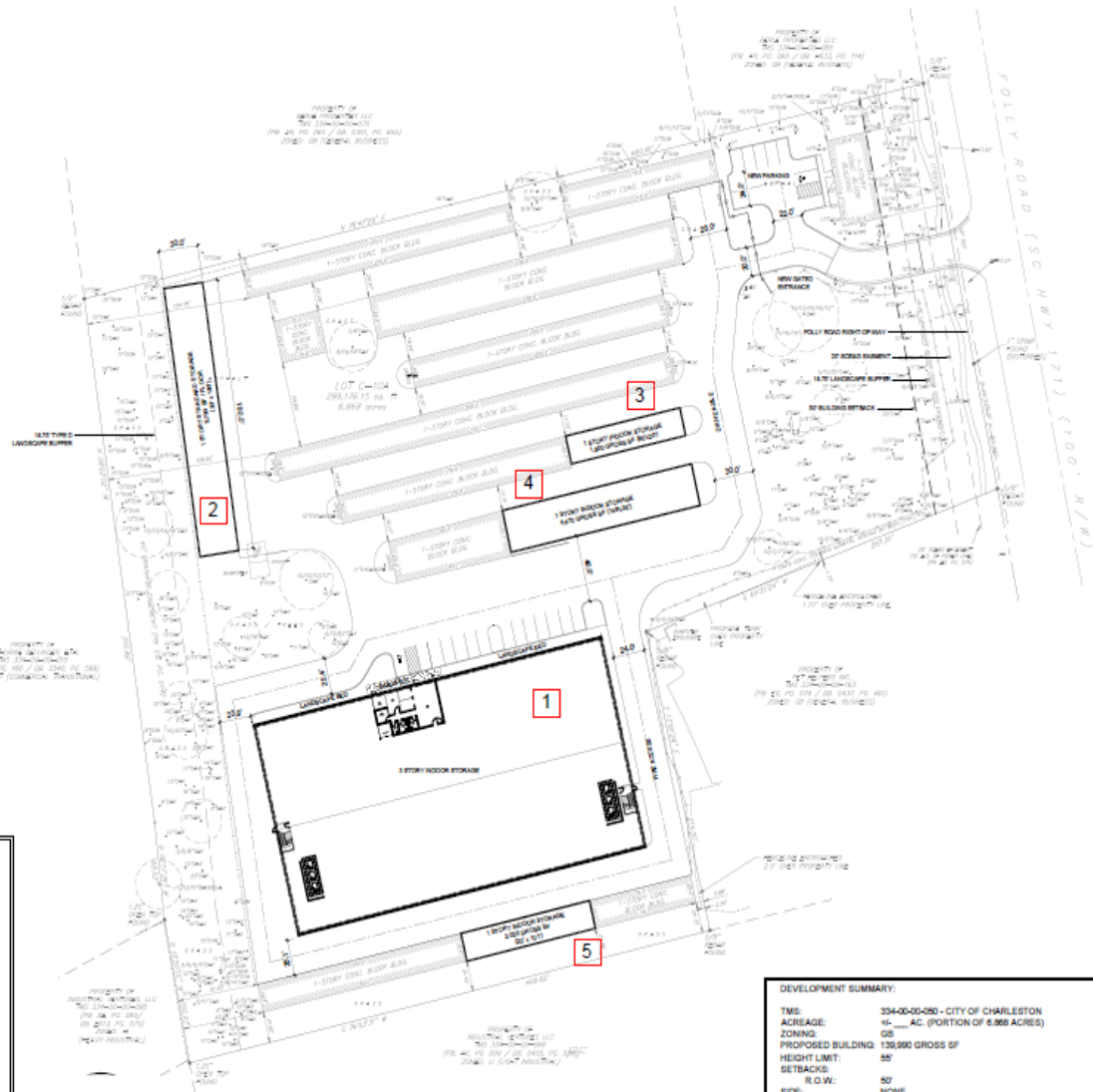
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| Drawing No. | Sheet |
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C1

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TREE NOTES:
TOTAL SIGNIFICANT TREES: 303
TREES REQUIRED TO REMAIN: 103 (8.9 ACRES X 15 TREES/ACRE = 103.5)
SIGNIFICANT TREES TO BE SAVED: _____
SIGNIFICANT TREES TO BE REMOVED: _____

GRAND TREES TO BE SAVED: 16

GRAND TREES TO BE SAVED:

OAK: 35°

OAK: 13°18'

OAK: 12/12/13/13

OAK: 8/14/15

OAK: 11"/13"/15"/16"/12"

QAK: 7/15/87

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WATER OAK: 7/27/12/15

WATER OAK: 8/15/12, 25'

TABLE 10
continued

DEVELOPMENT SUMMARY

TMS: 334-00-00-050 - CITY OF CHARLESTON

PROPOSED BUILDING: 139,990 GROSS SF

SETBACKS:

REAR: NONE

FRONT: TYPE C (EXISTING)

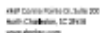
REAR TYPE D 18.75

1,8,000 SF NET LEASABLE - $\frac{1}{2}$ REQUIRED P.

17 (3) SPACES (2) = 9 (ROUNDED UP) REQU

PARKING PROVIDED: 15

HANDICAP SPACES: 1



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Consultants

Legend

[illegible]

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| 1. Name | | | | |
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Journal Club



ClientProject

PUBLIC STORAGE

FOLLY ROAD

Charleston, South Carolina

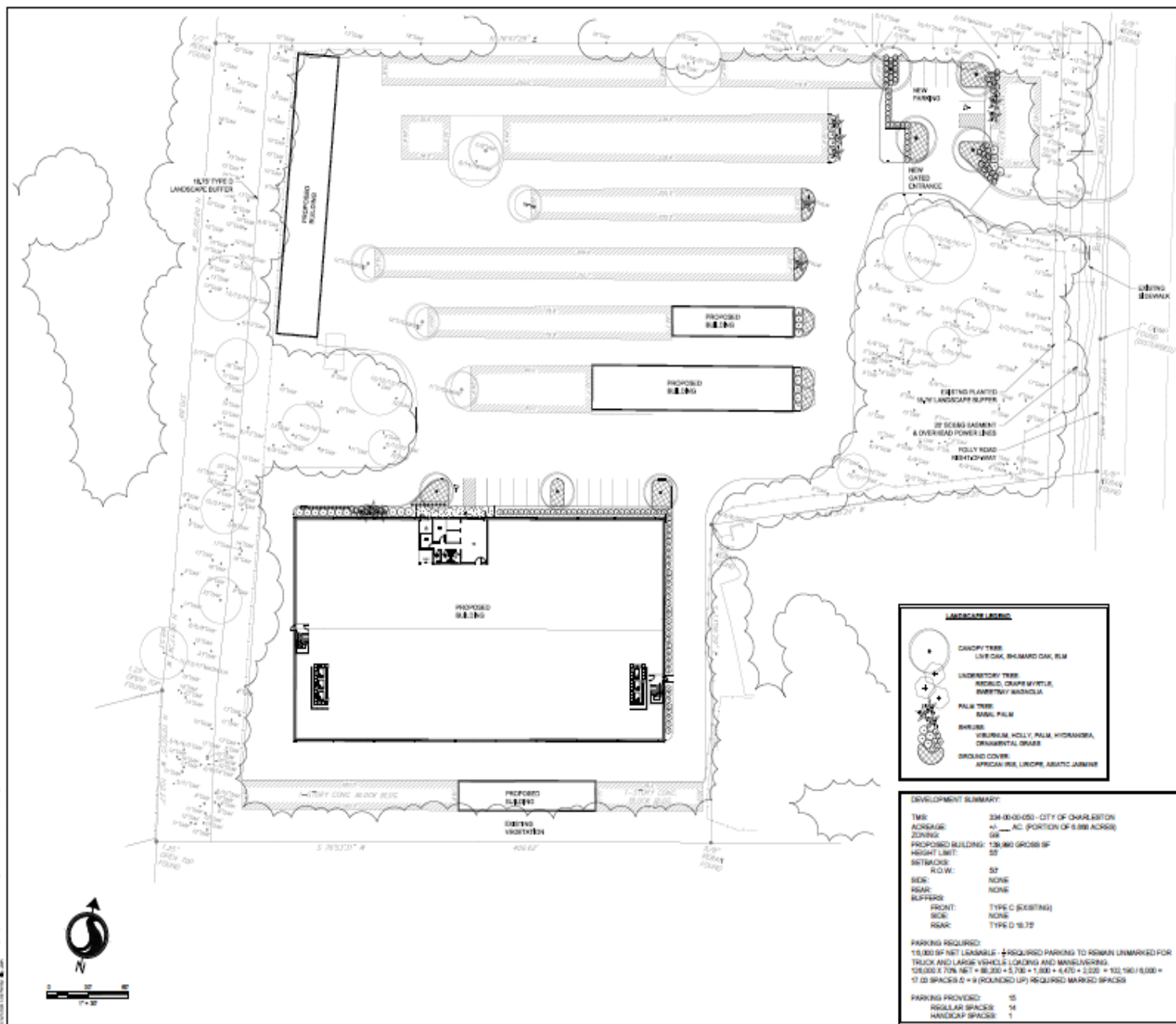
LANDSCAPE PLAN - PRELIM

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| Project No. | Scale |
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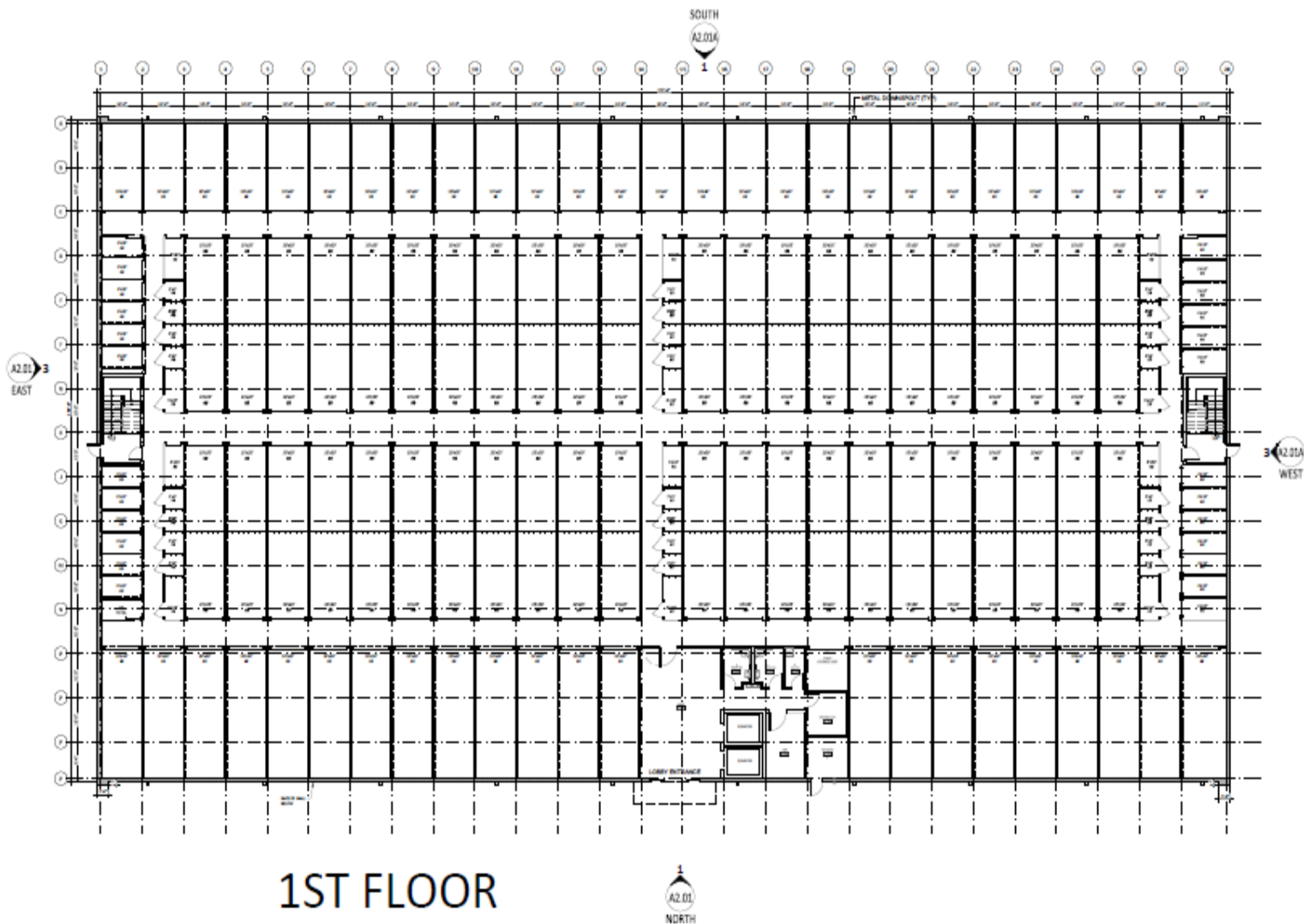
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11 0

L1 0



www.bentley.com



1ST FLOOR

LITTLE
 1015 MAGNET DRIVE, SUITE 100
 CHARLOTTE, NC 28203
 TEL: 704.375.1111
 FAX: 704.375.1112
 www.little.com

The design and construction of this building is subject to the final approval of the local building department. The architect, engineer and contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

Public Storage
 Public Storage, Inc.
 300 West Main Avenue, Greenville, SC 29601

PUBLIC STORAGE
 REMODEL / EXPANSION
 1439 FOLLY ROAD
 CHARLESTON, SC 29412

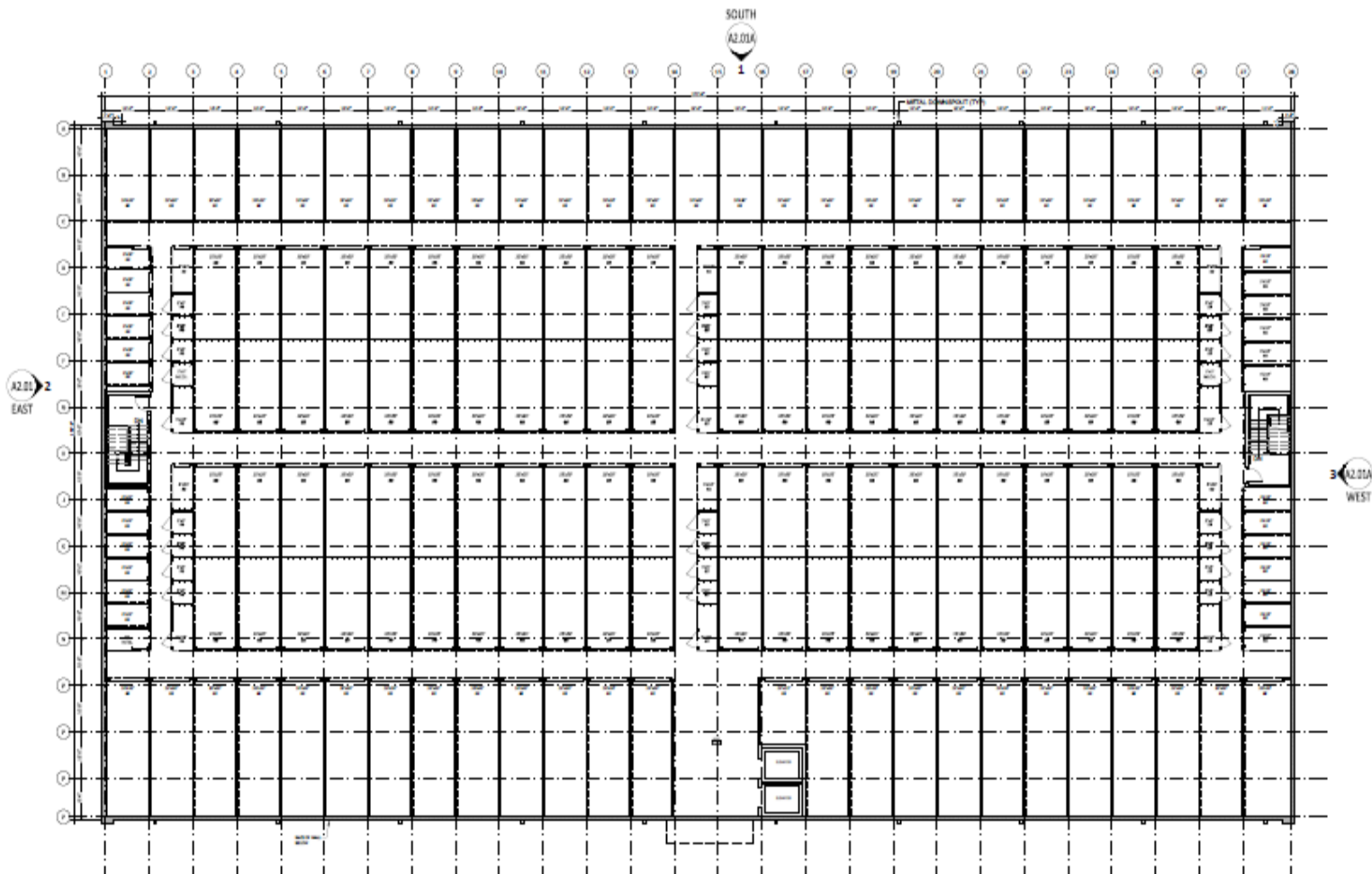
Project Manager
 Don T. Montrose, AIA
 Project Engineer
 Richard E. Weller
 EITP

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BUILDING 1
 FLOOR PLAN
 1ST FLOOR

121.6252.00

BLDG #1: FLOOR PLAN (FIRST FLOOR) - NEW 3 STORY BLDG 1
 01.04.17 A1.01



2ND FLOOR



LITTLE
 ARCHITECTS
 1000 W. 10TH STREET, SUITE 100
 CHARLOTTE, NC 28202
 TEL: 704.333.1111
 FAX: 704.333.1112
 WWW.LITTLEARCHITECTS.COM

NO WARRANTY IS MADE BY THE ARCHITECT FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE PREPARATION OF THE DOCUMENTS THEREFOR.



PUBLIC STORAGE
 1439 FOLLY ROAD
 CHARLESTON, SC 29412

PUBLIC STORAGE
 REMODEL / EXPANSION
 1439 FOLLY ROAD
 CHARLESTON, SC 29412

| NO. | DESCRIPTION | DATE | BY | CHKD. |
|-----|-------------|----------|----|-------|
| 1 | PRELIMINARY | 01.04.17 | AL | |
| 2 | SCHEMATIC | | | |
| 3 | CONCEPT | | | |
| 4 | PRELIMINARY | | | |
| 5 | SCHEMATIC | | | |
| 6 | CONCEPT | | | |
| 7 | PRELIMINARY | | | |
| 8 | SCHEMATIC | | | |
| 9 | CONCEPT | | | |
| 10 | PRELIMINARY | | | |
| 11 | SCHEMATIC | | | |
| 12 | CONCEPT | | | |
| 13 | PRELIMINARY | | | |
| 14 | SCHEMATIC | | | |
| 15 | CONCEPT | | | |
| 16 | PRELIMINARY | | | |
| 17 | SCHEMATIC | | | |
| 18 | CONCEPT | | | |
| 19 | PRELIMINARY | | | |
| 20 | SCHEMATIC | | | |

BUILDING 1
 FLOOR PLAN
 2ND FLOOR

121.6252.00

BLDG #1: FLOOR PLAN (FIRST FLOOR) - NEW 3 STORY BLDG 1

01.04.17 A1.02



BLDG #1: FLOOR PLAN (FIRST FLOOR) - NEW 3 STORY BLDG

1

01.04.17

LITTLE
BIG IDEAS
1000 MARKET STREET, SUITE 100
SAN FRANCISCO, CA 94102
415.774.2770
www.littlearchitects.com

The design and construction of this project is the responsibility of the architect. The architect is not responsible for the design or construction of any other building or structure.

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Public Storage
Public Storage, Inc.
300 Western Avenue, Greenvale, CA 94038

PUBLIC STORAGE
REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC 29412

Owner: Public Storage, Inc.
Architect: Little Architects, Inc.
Engineer: T. J. Mendenhall, P.E.
Interior Designer: T. J. Mendenhall, P.E.
Date: 01/04/17

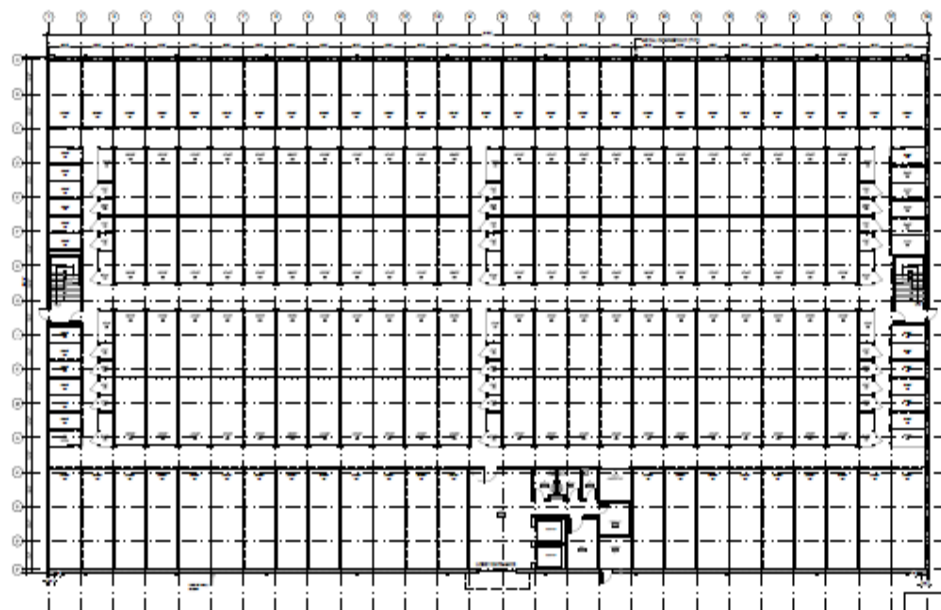
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| 30 | REVISION | |

BUILDING 1
FLOOR PLAN
3RD FLOOR

121.6252.00

01.04.17

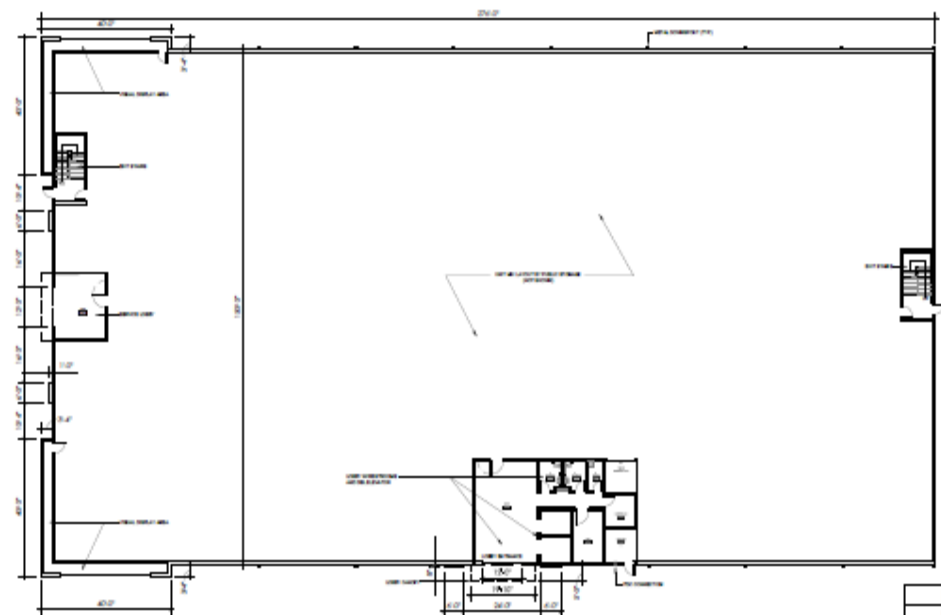
A1.03



BLDG #1: FLOOR PLAN (FIRST FLOOR) - NEW 3 STORY BLDG

CURRENT PROPOSAL

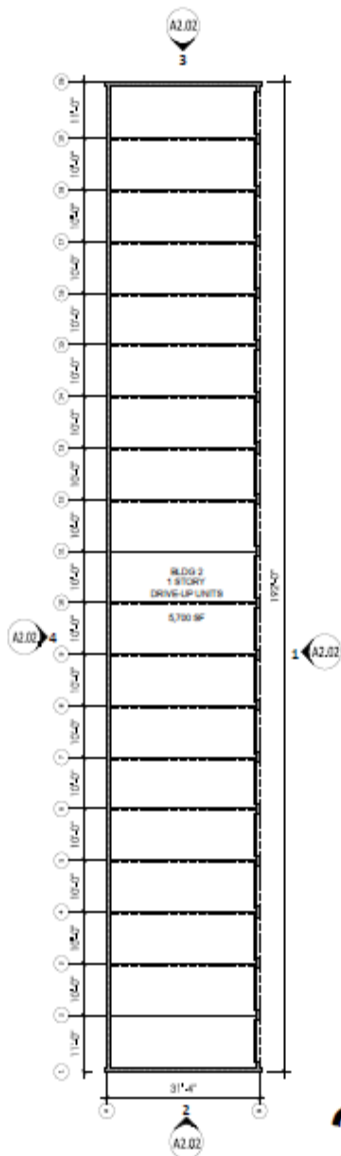
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BLDG #1: FLOOR PLAN (FIRST FLOOR) - NEW 3 STORY BLDG

PREVIOUS PROPOSAL

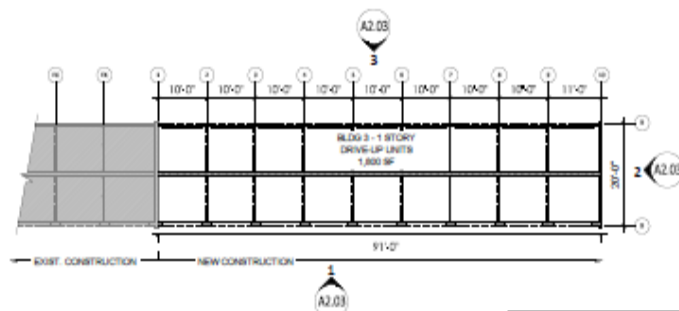
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BLDG #2 - NEW: FLOOR PLAN

SCALE: 1/8" = 1'-0"

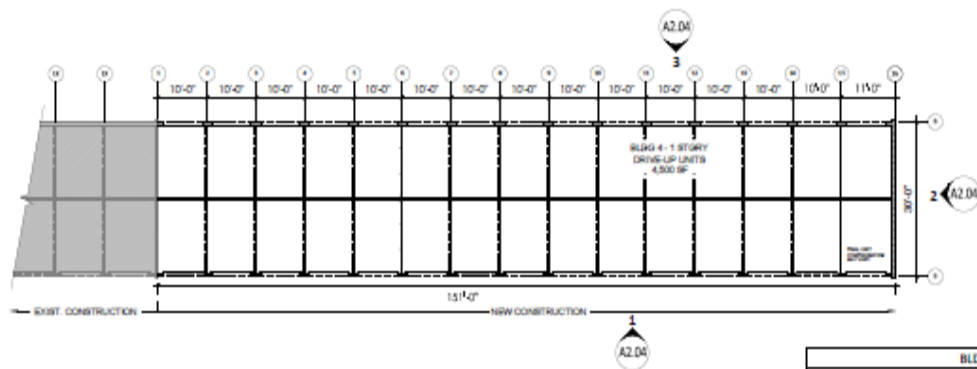
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BLDG #3 - EXPANSION: FLOOR PLAN

SCALE: 1/8" = 1'-0"

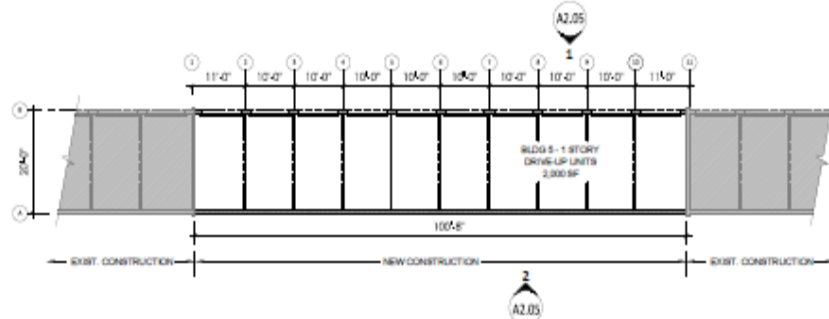
3



BLDG #4 - EXPANSION: FLOOR PLAN

SCALE: 1/8" = 1'-0"

4



BLDG #5 - INFILL: FLOOR PLAN

SCALE: 1/8" = 1'-0"

5

LITTLE
1000 Highway 101, Suite 100
Folsom, CA 95630
916.977.1111
www.little.com

The design and construction of this project is the responsibility of the architect. The engineer is responsible for the design and construction of the building structure and the mechanical, electrical and plumbing systems.

Public Storage
Public Storage, Inc.
300 West 10th Avenue, Greeley, CO 80639

PUBLIC STORAGE
REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC 29412

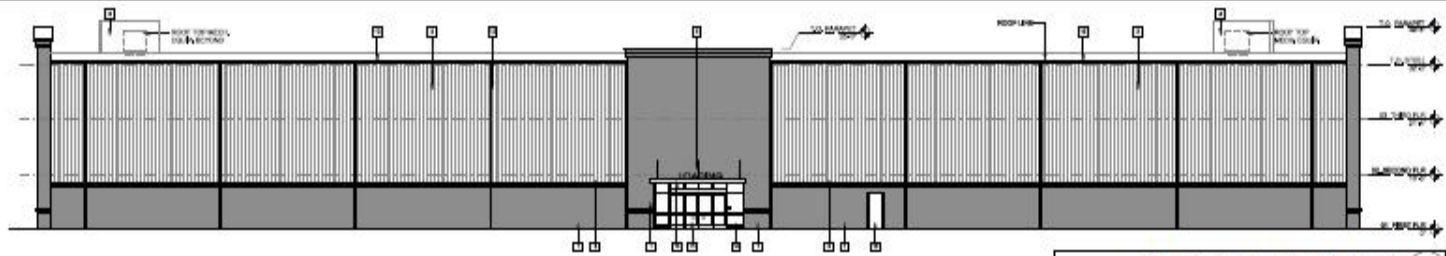
Project Name: Remodel / Expansion
Owner: Public Storage, Inc.
Architect: Little, Inc.
Engineer: Richard T. Weller
Date: 01/04/17

| NO. | DESCRIPTION | DATE |
|-----|------------------------|----------|
| 1 | Issue for Permit | 01/04/17 |
| 2 | Issue for Construction | 01/04/17 |
| 3 | Issue for Construction | 01/04/17 |
| 4 | Issue for Construction | 01/04/17 |
| 5 | Issue for Construction | 01/04/17 |
| 6 | Issue for Construction | 01/04/17 |
| 7 | Issue for Construction | 01/04/17 |
| 8 | Issue for Construction | 01/04/17 |
| 9 | Issue for Construction | 01/04/17 |
| 10 | Issue for Construction | 01/04/17 |

BUILDINGS
2 THRU 5
FLOOR PLANS

121.6252.00

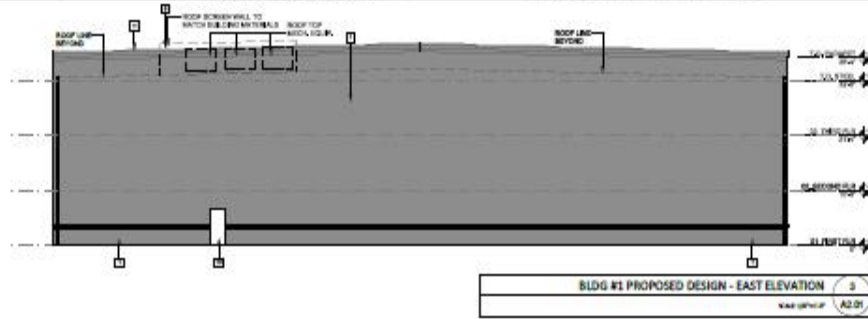
01/04/17 A1.06



BLDG #1 PROPOSED DESIGN - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BLDG #1 PREVIOUS DESIGN - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BLDG #1 PROPOSED DESIGN - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BLDG #1 PREVIOUS DESIGN - EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND/KEYNOTES

- 1. PS ORANGE
- 2. NOT USED
- 3. NOT USED
- 4. METAL AWNING (PS ORANGE)
- 5. PS METAL PANEL - COLOR TO MATCH (SHOULD BE MATCHED TO PS ORANGE)
- 6. MODULAR BRICK - COLOR TO MATCH PS ORANGE
- 7. NOT USED
- 8. CONDUCTOR HEAVY DOWNPOUT - BUTTER
- 9. METAL AWNING (PS ORANGE)
- 10. NOT USED
- 11. UP LANDING SIGN ON FRONT EDGE OF CANOPY
- 12. END BRG. CORNER LOCATION WITH FIRE DEPT.
- 13. NOT USED
- 14. METAL DOWNPOUT MECHANICAL EQUIPMENT
- 15. NOT USED
- 16. HOLLOW METAL DOOR - PAINT: PS ORANGE
- 17. CORNER PAINT: COLOR PS ORANGE
- 18. CONDUCTOR HEAVY DOWNPOUT - BUTTER
- 19. METAL AWNING (PS ORANGE)
- 20. NOT USED
- 21. UP LANDING SIGN ON FRONT EDGE OF CANOPY
- 22. END BRG. CORNER LOCATION WITH FIRE DEPT.
- 23. NOT USED
- 24. METAL DOWNPOUT MECHANICAL EQUIPMENT
- 25. NOT USED
- 26. HOLLOW METAL DOOR - PAINT: PS ORANGE

LITTLE

1100 S. HARRISON STREET, SUITE 100
CHARLESTON, SC 29401
704.733.1111
www.littlearchitects.com

Public Storage
Public Storage, Inc.
1000 West Main Avenue, Greenville, SC 29601

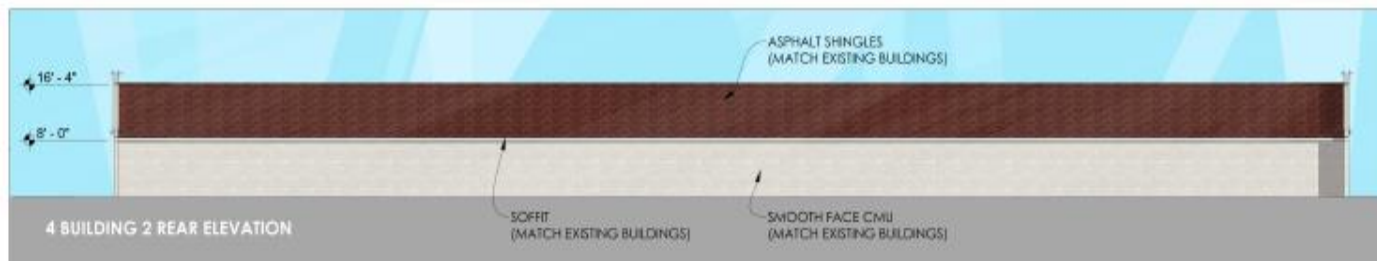
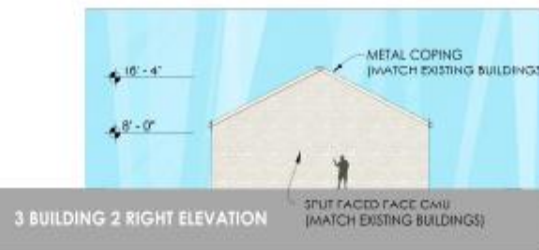
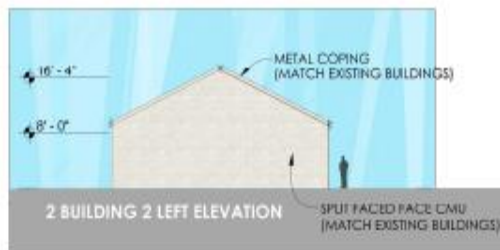
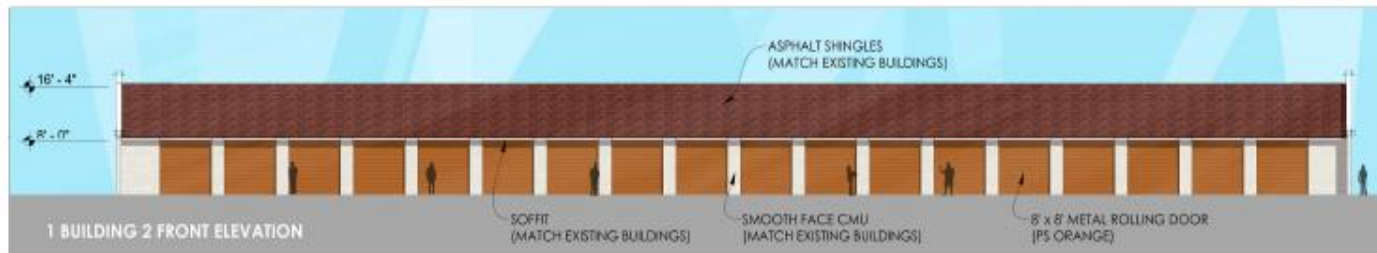
PUBLIC STORAGE
REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC 29412

Project Number: 1439
Owner: Public Storage, Inc.
Architect: Little Architects
Contractor: T. Walker
Date: 1/17/17
Sheet: 1 of 1

EXTERIOR
NORTH & EAST
ELEVATIONS
BLDG. 1

121.6252.00

01.04.17 A2.01



LITTLE

WE MAKE THE CHANGING OF THE WORLD EASIER. WE MAKE IT BETTER. WE MAKE IT LAST.

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Public Storage, Inc. 9100
30 W. 10th Street, Suite 100, San Jose, CA 95108

PUBLIC STORAGE

REMODEL / EXPANSION

1439 FOLLY ROAD

CHARLESTON, SC 29412

| DATE | BY | REV |
|----------|-----|-----|
| 01/04/17 | BRN | 1 |
| 01/04/17 | BRN | 2 |
| 01/04/17 | BRN | 3 |
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| 01/04/17 | BRN | 19 |
| 01/04/17 | BRN | 20 |

EXTERIOR
ELEVATIONS
DRIVE-UP
BLDG 2

121.6252.00

01.04.17 **A2.02**



LITTLE

3014 MARKET STREET, SUITE 100
THE GREENSBORO, NC 27409
TEL: 336.733.1111

"We design and build the most innovative and sustainable commercial buildings. The sustainable design and construction of the building is a key element of our business strategy and we are committed to it." - LITTLE

Public Storage

1439 FOLLY ROAD
CHARLESTON, SC 29412

PUBLIC STORAGE

REMODEL / EXPANSION

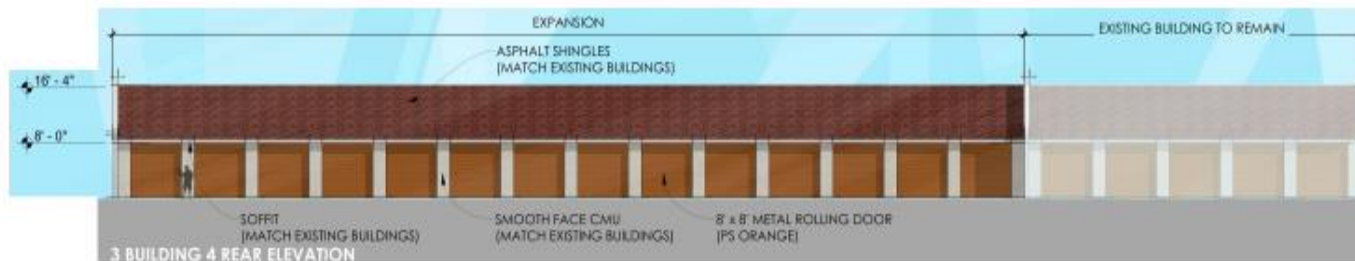
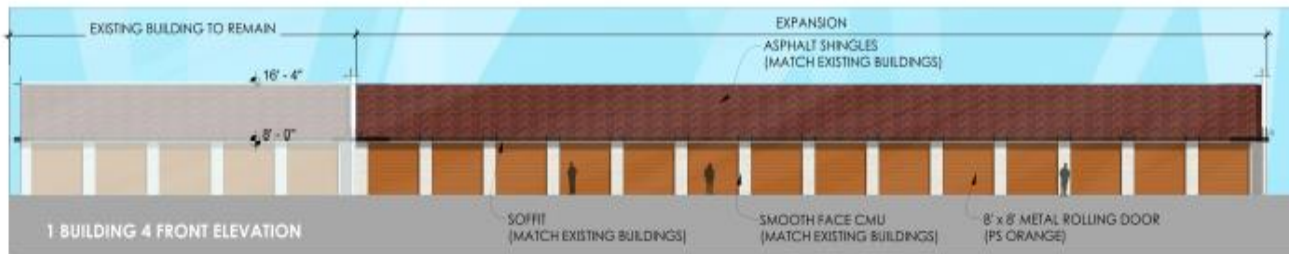
1439 FOLLY ROAD
CHARLESTON, SC 29412

Owner: Public Storage
Architect: Little
Interior Designer: Little
Engineer: Little
Contractor: Little
General Contractor: Little
Subcontractor: Little
Material Supplier: Little
Equipment Supplier: Little
Furniture Supplier: Little
Lighting Supplier: Little
Acoustic Treatment: Little
Paint Supplier: Little
Flooring Supplier: Little
Wallpaper Supplier: Little
Curtain Supplier: Little
Blind Supplier: Little
Door Supplier: Little
Window Supplier: Little
Rug Supplier: Little
Furniture Supplier: Little
Lighting Supplier: Little
Acoustic Treatment: Little
Paint Supplier: Little
Flooring Supplier: Little
Wallpaper Supplier: Little
Curtain Supplier: Little
Blind Supplier: Little
Door Supplier: Little
Window Supplier: Little
Rug Supplier: Little

EXTERIOR ELEVATIONS
DRIVE-UP
BLDG 3

121.6252.00

01.04.17 **A2.03**



LITTLE

1011 Magnolia Street, Charleston, SC 29403
704.444.1111
www.littleinc.com

The design and construction of this building is subject to the review and approval of the local health department. The construction of this building is subject to the review and approval of the local health department.

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Public Storage, Inc.
301 W. 4th Street, Suite 100
Charleston, SC 29401

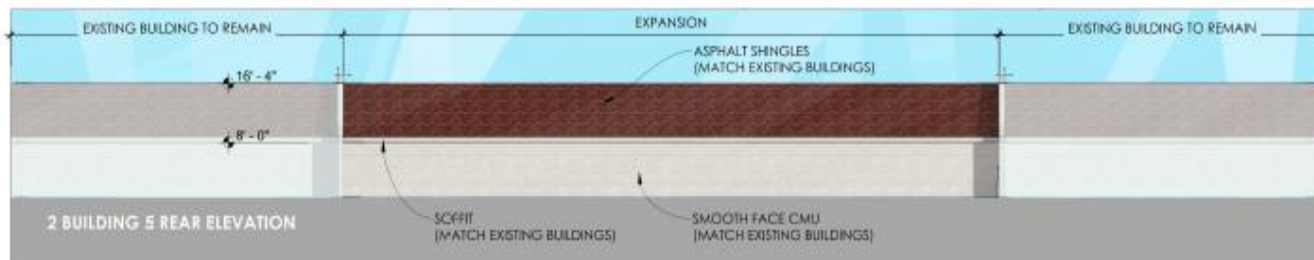
PUBLIC STORAGE
REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC 29412

| DATE | BY | REV |
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| 01/04/17 | 9 | 1 |
| 01/04/17 | 10 | 1 |

EXTERIOR ELEVATIONS
DRIVE-UP
BLDG 4

121.6252.00

01/04/17 A2.04



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704.544.1100
www.littleinc.com

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PUBLIC STORAGE
1439 FOLLY ROAD
CHARLESTON, SC 29412

PUBLIC STORAGE
REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC 29412

Owner: Public Storage
Architect: Little, Inc.
Engineer: Little, Inc.
Contractor: Little, Inc.

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1 | 01.04.17 | ISSUED FOR PERMIT |
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EXTERIOR
ELEVATIONS
DRIVE-UP
BLDG 5

121.6252.00

01.04.17 **A2.05**



IMAGE #8



IMAGE #7



IMAGE #6



IMAGE #5



IMAGE #4



IMAGE #3



IMAGE #2



IMAGE #1

8 (BIRDS EYE)



LITTLE
 1015 Maple Street, Suite 101, Charleston, SC 29401
 Phone: 843.799.1111
 Fax: 843.799.1112
 www.littleinc.com

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Public Storage
 Public Storage, Inc.
 300 Wilshire Avenue, Gardena, CA 90247

PUBLIC STORAGE
 REMODEL / EXPANSION
 1439 FOLLY ROAD
 CHARLESTON, SC 29412

Project Name: 1439 Folly Road, Charleston, SC 29412
 Project Manager: David T. Morrison, AIA
 Architect: Richard T. Waller
 Date: 01/04/17
 Scale: 1/8" = 1'-0"

| NO. | DATE | DESCRIPTION |
|-----|----------|----------------|
| 1 | 01/04/17 | Initial Design |
| 2 | 01/04/17 | Site Plan |
| 3 | 01/04/17 | Site Plan |
| 4 | 01/04/17 | Site Plan |
| 5 | 01/04/17 | Site Plan |
| 6 | 01/04/17 | Site Plan |
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| 99 | 01/04/17 | Site Plan |
| 100 | 01/04/17 | Site Plan |

STREETVIEW
 OVERLAY
 PERSPECTIVE

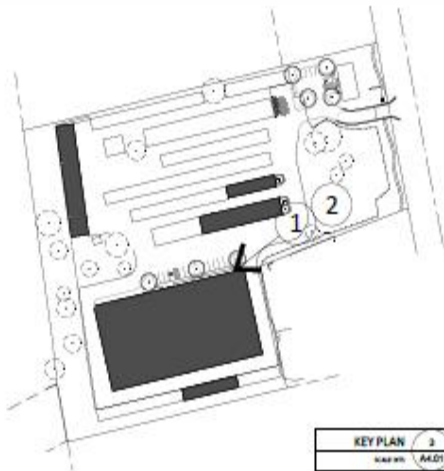
121.6252.00

STREETVIEW OVERLAY

1
 A4.00
 01/04/17
 A3.02



PROPOSED BLDG. #1 NORTH ELEVATION PERSPECTIVE RENDERING



KEY PLAN
SCALE: 1/8" = 1'-0"
A4.01



PERSPECTIVE 1

PREVIOUS BLDG. #1 NORTH ELEVATION PERSPECTIVE RENDERING

LITTLE
ARCHITECTURAL
1015 MAGNOLIA STREET, SUITE 100
CHARLESTON, SC 29403
TEL: 771-1111 FAX: 771-1111

The design of this project was prepared by Little Architectural, Inc. for the client. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

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Public Storage
1439 FOLLY ROAD
CHARLESTON, SC 29412

PUBLIC STORAGE
REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC 29412

| | |
|----------------------|---|
| OWNER | Public Storage |
| DESIGNER | Little Architectural, Inc. |
| DATE | 01.04.17 |
| PROJECT NO. | 121.6252.00 |
| PROJECT NAME | PUBLIC STORAGE REMODEL / EXPANSION |
| PROJECT ADDRESS | 1439 FOLLY ROAD, CHARLESTON, SC 29412 |
| PROJECT PHONE | (843) 722-1111 |
| PROJECT FAX | (843) 722-1111 |
| PROJECT EMAIL | info@publicstorage.com |
| PROJECT WEBSITE | www.publicstorage.com |
| PROJECT SOCIAL MEDIA | Facebook: Public Storage Charleston, SC Twitter: PublicStorageCharleston |

PERSPECTIVE
RENDERINGS
3 STORY BLDG

121.6252.00

01.04.17 A4.01